

**CITY OF HYATTSVILLE**  
**PLANNING COMMITTEE AGENDA**  
**NOVEMBER 15, 2022**

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**Register in advance for this webinar:**

[https://us06web.zoom.us/webinar/register/WN\\_A54ewZI2QGK1sPJle1KAXA](https://us06web.zoom.us/webinar/register/WN_A54ewZI2QGK1sPJle1KAXA)

- 1. Introduction of Committee & Guest Members (7:00 PM)**
- 2. Greeting from City Administrator Tracey Douglas**
- 3. Suffrage Point (lower lot), DSP-21001**
  - Presentation
    - Johnathan Werrlein, Werrlein Properties
    - Karl Granzow, Werrlein Properties
    - Michael Romero, Suffrage Point
    - Norman Rivera, Applicant's Representation
  - Overview of the Project
  - Clarifying Questions
  - Committee Comments
- 4. Development Updates**
  - Riverfront Development
    - Townhomes completed December 2022, final stormwater management will take place at conclusion of the project.
    - Construction of the first multifamily building will begin in December 2022, expected delivery November 2024.
    - DSP for the second multifamily building expected next year.
  - Canvas Development
    - Excavation almost complete, concrete operation for foundation will begin after excavation, expected completion end of 2022.
    - Parking garage expected Q1 2023.
    - Project delivered Summer 2024.
  - Rhode Island Trolley Trail
    - Construction is underway! Expect occasional lane closures between Charles Armentrout Drive and Farragut Street over the coming months.
    - Visit MDOT's project page to track the progress: <https://mdot-sha-us1-trolley-trail-pg8675188-maryland.hub.arcgis.com/#GraphicsandMedia>

**5. Committee Business**

- Approve October 2022 minutes

**6. Additional Questions & Discussion**

**7. Adjourn (9:00 PM)**





# Suffrage Point

**Presentation on Detailed Site Plan (DSP - 21001)  
To City of Hyattsville  
November 2022**

**Suffrage Point - Werrlein Properties**



# Process

## Overall Timeline:

- CSP approved 2019 and affirmed by the Council after appeals to the courts
- PPS approved for upper and lower areas
- Plats and development ongoing on upper area
- Lower area has preliminary plan approval, the DSP (filed) and plat
- Permit issued for lower area expected to be late spring 2023





# Architecture

All units are townhome units in groups of 5-7.

- Front porch (two level at homes facing southwest)
- Rear loaded garage
- Painted brick or masonry water table and cementitious siding above.

14 total 24' wide units

12 total 22' wide units

15 total 20' wide units

**41 TOTAL UNITS**





Architecture - 24' wide end units (lots 1, 6, 7, 11, 12, 17, 18, 23, 24, 29, 30, 36, 37, 41)

2,300 square feet

4 bedrooms

3.5 bathrooms

14 total 24' wide units

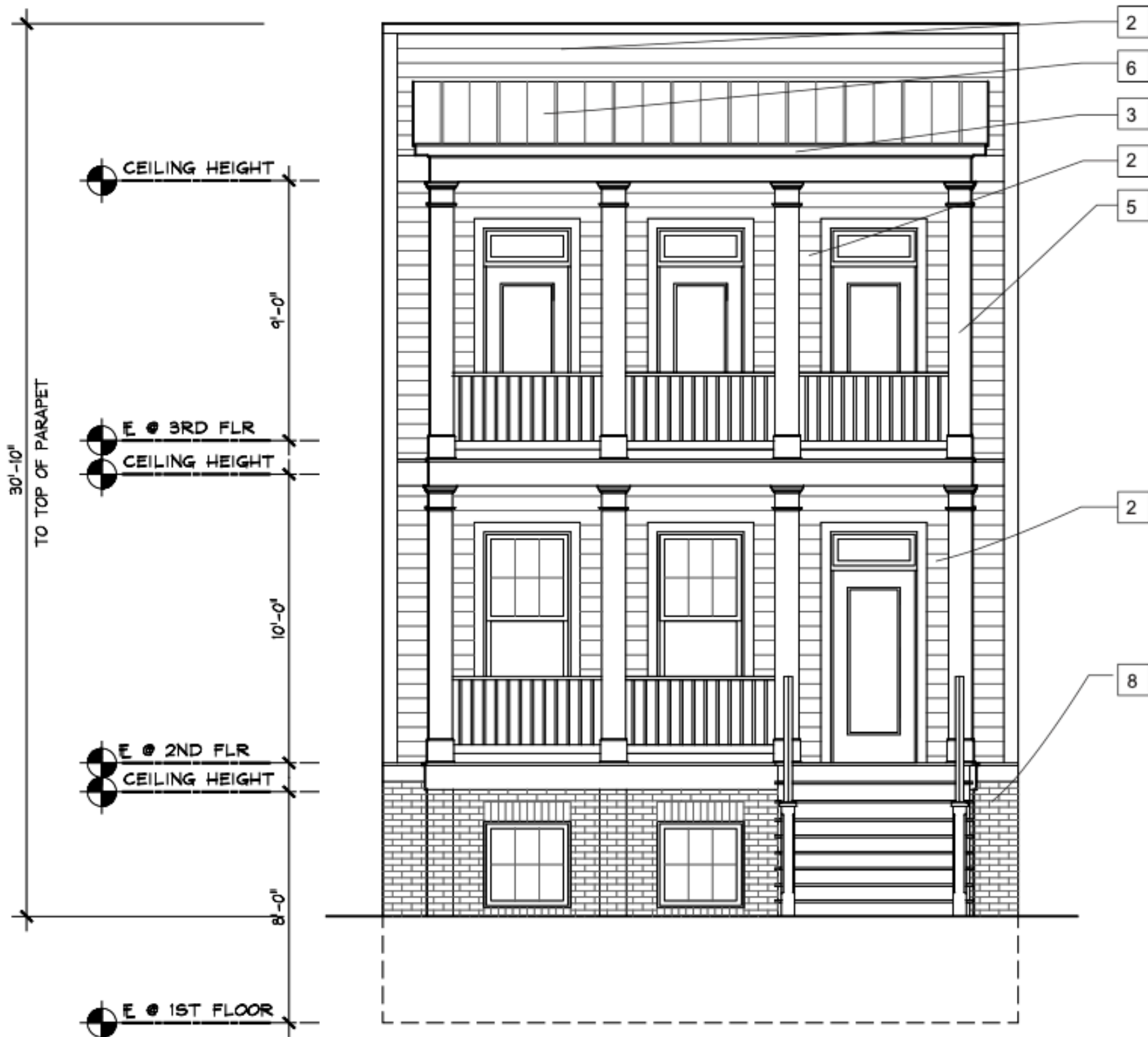
ELEVATION KEYNOTES:

- 1 30 YR. ASPHALT SHINGLES
- 2 HARDIE-BOARD SIDING AND TRIM
- 3 PREFINISHED ALUM. GUTTER / DOWNSPOUTS
- 4 VINYL DOUBLE HUNG WINDOW, 1 OVER 1 OR 6 OVER 1
- 5 PAINTED PVC PORCH
- 6 METAL ROOF
- 7 EPDM LOW SLOPE ROOFING
- 8 PAINTED BRICK/STAMPED CONCRETE WITH BRICK PATTERN

Suffrage Point - Werrlein Properties



FRONT ELEVATION (one level porch)



FRONT ELEVATION (two level porch)



SIDE ELEVATION (without porch)



SIDE ELEVATION (with porch)



# Architecture - 22' wide mid units (lots 25-28, 31-35, 38-40)

2,088 square feet

4 bedrooms

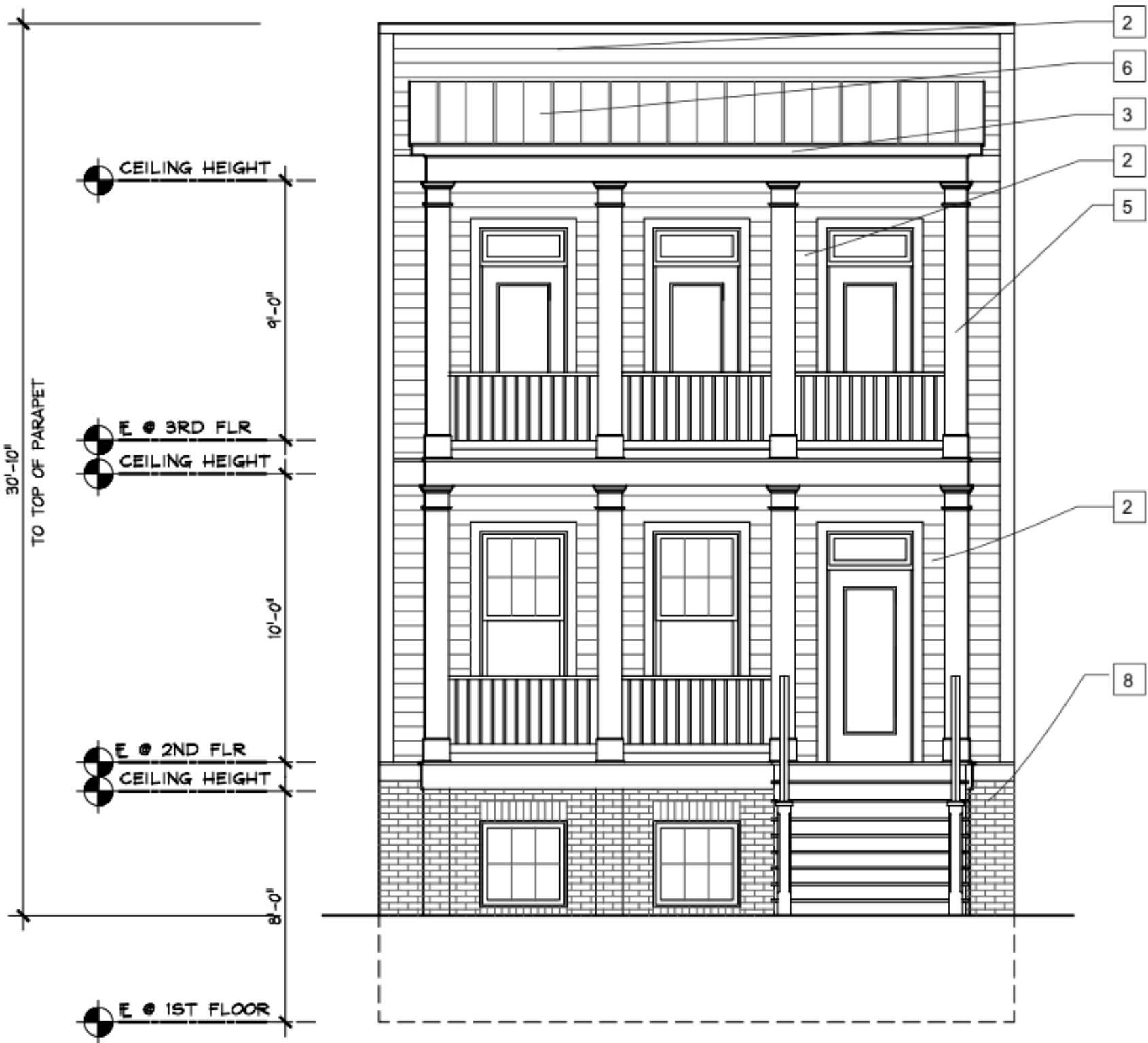
3.5 bathrooms

12 total 22' wide units

## ELEVATION KEYNOTES:

- 1 30 YR. ASPHALT SHINGLES
- 2 HARDIE-BOARD SIDING AND TRIM
- 3 PREFINISHED ALUM. GUTTER / DOWNSPOUTS
- 4 VINYL DOUBLE HUNG WINDOW, 1 OVER 1 OR 6 OVER 1
- 5 PAINTED PVC PORCH
- 6 METAL ROOF
- 7 EPDM LOW SLOPE ROOFING
- 8 PAINTED BRICK/STAMPED CONCRETE WITH BRICK PATTERN

Suffrage Point - Werrlein Properties



FRONT ELEVATION



# Architecture - 20' wide mid units (lots 2-5, 8-9, 13-16, 19-22)

1,896 square feet

4 bedrooms

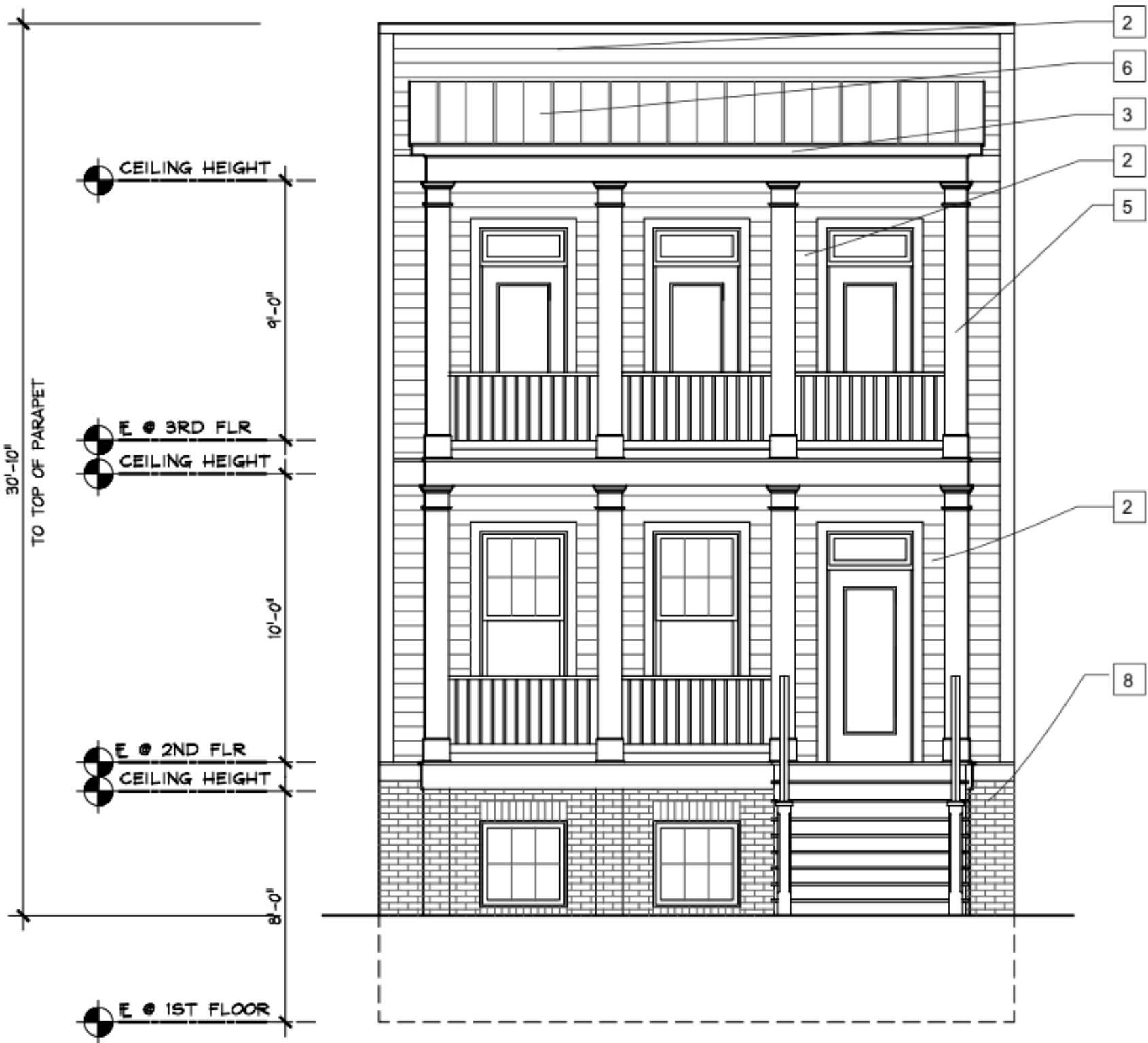
3.5 bathrooms

15 total 20' wide units

## ELEVATION KEYNOTES:

- 1 30 YR. ASPHALT SHINGLES
- 2 HARDIE-BOARD SIDING AND TRIM
- 3 PREFINISHED ALUM. GUTTER / DOWNSPOUTS
- 4 VINYL DOUBLE HUNG WINDOW, 1 OVER 1 OR 6 OVER 1
- 5 PAINTED PVC PORCH
- 6 METAL ROOF
- 7 EPDM LOW SLOPE ROOFING
- 8 PAINTED BRICK/STAMPED CONCRETE WITH BRICK PATTERN

Suffrage Point - Werrlein Properties



FRONT ELEVATION



# Architecture



**CONCEPTUAL FRONT ELEVATION (two level porch)**



**CONCEPTUAL FRONT ELEVATION (one level porch)**



# Architecture



**CONCEPTUAL REAR ELEVATION**



# Architecture



**CONCEPTUAL RENDERING - VIEW FROM SOUTHWEST**

**Suffrage Point - Werrlein Properties**



# Landscape Plan

DDOZ LANDSCAPE REQUIREMENTS

Landscaping Per DDOZ Standards (See Sheet 2A of DSP-18005)

1) 1 shade tree per every 5,000 SF of gross site area (exclusive of street dedications)

(Site Area (SF): 203,126 - Area of Street Dedications(SF): 17,370) = 185,756 SF ÷ 5,000 =

37 shade trees required

108 shade trees provided

2) 1 shade tree per every 1,000 SF of proposed open space

Area of Proposed Open Space (SF): 24,964 ÷ 1,000:

25 shade trees required

98 shade trees provided

3) 1 shrub per every 100 SF of proposed open space

Area of Proposed Open Space (SF): 24,964 ÷ 100:

250 shrubs required

250 shrubs provided

NOTE: OPEN SPACE IS DEFINED AS ANY PORTION OF THE SITE NOT DEDICATED TO ROW, LOTS OR EASEMENTS.

EXCLUDES WSSC EASEMENT, STORMDRAIN EASEMENT, FLOODPLAIN EASEMENT, AND PUE.

PLANTING SCHEDULE FOR SECTION B2

Residential Landscaping for Townhouses, One-Family Semi-Detached, and Two-Family Dwellings Arranged Horizontally:

1) Number of dwelling units:

41 units

2) Number of trees required per dwelling unit

1.5 shade trees

1 ornamental/evergreen trees

62 total shade trees

41 total ornamental/evergreen trees

3) Total number of trees provided (in common open space):

65 shade trees

21 ornamental trees

20 evergreen trees

0 existing shade trees (min 2.5 inches dbh and located within 75 feet of a dwelling unit):

PLANTING SCHEDULE FOR SECTION D

Buffering Incompatible Uses Requirements

1) General Plan designation:

✓ Developed Tier, Corridor Node or Center

Developing or Rural Tier

2) Use of proposed development:

TOWNHOUSES

3) Impact of proposed development:

N/A

4) Use of adjoining development:

PARKLAND

5) Impact of adjoining development:

LOW

6) Minimum required bufferyard (A,B,C,D or E):

A ✓ B    C    D    E

7) Minimum required building setback:

30 feet

8) Building setback provided:

30 feet

9) Minimum required width of landscape yard:

20 feet

10) Width of landscape yard provided:

20 feet

(The required setback and landscape yard may be reduced by fifty percent (50%) in the Developed Tier, Corridor Node or Center when a six (6) foot high fence or wall is provided.)

11) Linear feet of buffer strip required along property line and right-of-way:

599 linear feet

12) Percentage of required bufferyard occupied by existing trees:

0 %

13) Is a six (6) foot high fence or wall included in bufferyard?

yes ✓ no

14) Total number of plant units required in buffer strip:

470 p.u.

15) Total number of plant units provided:

shade trees 36 x 10 p.u. 360 p.u.

evergreen trees 0 x 5 p.u. 0 p.u.

ornamental trees 9 x 5 p.u. 45 p.u.

shrubs 65 x 1 p.u. 65 p.u.

Total 470 p.u.

PLANTING SCHEDULE FOR SECTION E

Buffering Incompatible Uses Requirements

1) General Plan designation:

✓ Developed Tier, Corridor Node or Center

Developing or Rural Tier

2) Use of proposed development:

TOWNHOUSES

3) Impact of proposed development:

N/A

4) Use of adjoining development:

SINGLE FAMILY DETACHED

5) Impact of adjoining development:

N/A

6) Minimum required bufferyard (A,B,C,D or E):

✓ A    B    C    D    E

7) Minimum required building setback:

20 feet

8) Building setback provided:

30 feet

9) Minimum required width of landscape yard:

10 feet

10) Width of landscape yard provided:

10 feet

(The required setback and landscape yard may be reduced by fifty percent (50%) in the Developed Tier, Corridor Node or Center when a six (6) foot high fence or wall is provided.)

11) Linear feet of buffer strip required along property line and right-of-way:

395 linear feet

12) Percentage of required bufferyard occupied by existing trees:

0 %

13) Is a six (6) foot high fence or wall included in bufferyard?

yes ✓ no

14) Total number of plant units required in buffer strip:

158 p.u.

15) Total number of plant units provided:

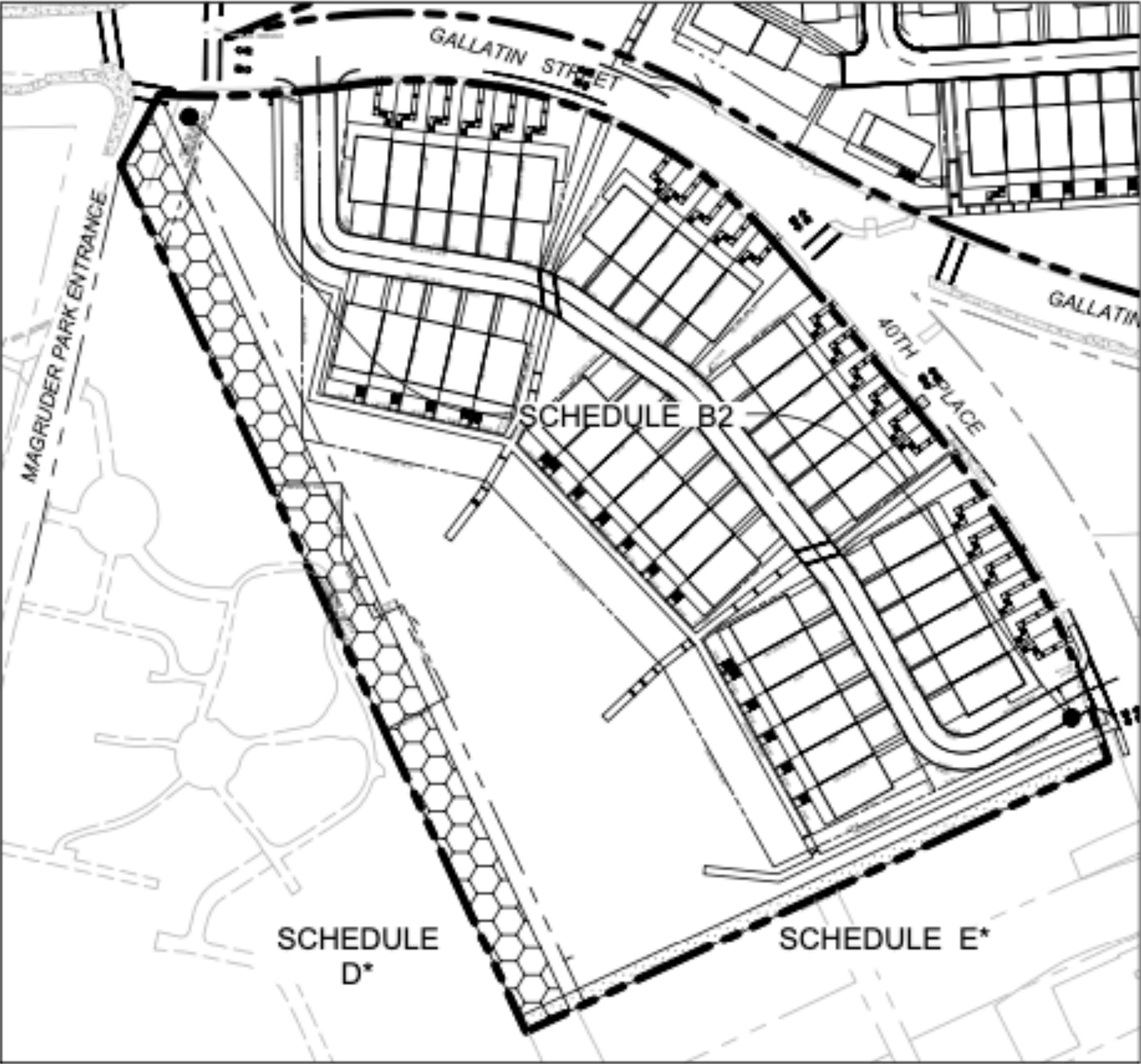
shade trees 7 x 10 p.u. 70 p.u.

evergreen trees 4 x 5 p.u. 20 p.u.

ornamental trees 6 x 5 p.u. 30 p.u.

shrubs 38 x 1 p.u. 38 p.u.

Total 158 p.u.



1

4

PLANTING SCHEDULE- KEY PLAN

NTS

\*NOTE: PLEASE SEE SHEET 4A FOR THESE PLANTING SCHEDULES.



# Landscape Plan

**DDOZ LANDSCAPE REQUIREMENTS**  
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2) 1 shade tree per every 1,000 SF of proposed open space  
Area of Proposed Open Space (SF): 24,964 ÷ 1,000:

3) 1 shrub per every 100 SF of proposed open space  
Area of Proposed Open Space (SF): 24,964 ÷ 100:

NOTE: OPEN SPACE IS DEFINED AS ANY PORTION OF THE SITE NOT DEDICATED TO ROW, LOTS OR EASEMENTS.  
EXCLUDES WSSC EASEMENT, STORMDRAIN EASEMENT, FLOODPLAIN EASEMENT, AND PUE.

37 shade trees required

108 shade trees provided

25 shade trees required

98 shade trees provided

250 shrubs required

250 shrubs provided

**PLANTING SCHEDULE FOR SECTION B2**  
Residential Landscaping for Townhouses, One-Family Semi-Detached, and Two-Family Dwellings Arranged Horizontally:

1) Number of dwelling units: 41 units

2) Number of trees required per dwelling unit

1.5 shade trees

1 ornamental/evergreen trees

62 total shade trees

41 total ornamental/evergreen trees

3) Total number of trees provided (in common open space):

65 shade trees

21 ornamental trees

20 evergreen trees

0 existing shade trees (min 2.5 inches dbh and located within 75 feet of a dwelling unit):

**PLANTING SCHEDULE FOR SECTION D**  
Buffering Incompatible Uses Requirements

1) General Plan designation: Developed Tier, Corridor Node or Center

2) Use of proposed development: TOWNHOUSES

3) Impact of proposed development: N/A

4) Use of adjoining development: PARKLAND

5) Impact of adjoining development: LOW

6) Minimum required bufferyard (A,B,C,D or E): A B C D E

7) Minimum required building setback: 30 feet

8) Building setback provided: 30 feet

9) Minimum required width of landscape yard: 20 feet

10) Width of landscape yard provided: 20 feet

(The required setback and landscape yard may be reduced by fifty percent (50%) in the Developed Tier, Corridor Node or Center when a six (6) foot high fence or wall is provided.)

11) Linear feet of buffer strip required along property line and right-of-way: 598 linear feet

12) Percentage of required bufferyard occupied by existing trees: 0 %

13) Is a six (6) foot high fence or wall included in bufferyard? yes no

14) Total number of plant units required in buffer strip: 470 p.u.

15) Total number of plant units provided:

shade trees 36 x 10 p.u. 360 p.u.

evergreen trees 0 x 5 p.u. 0 p.u.

ornamental trees 9 x 5 p.u. 45 p.u.

shrubs 65 x 1 p.u. 65 p.u.

Total 470 p.u.

**PLANTING SCHEDULE FOR SECTION E**  
Buffering Incompatible Uses Requirements

1) General Plan designation: Developed Tier, Corridor Node or Center

2) Use of proposed development: TOWNHOUSES

3) Impact of proposed development: N/A

4) Use of adjoining development: SINGLE FAMILY DETACHED

5) Impact of adjoining development: N/A

6) Minimum required bufferyard (A,B,C,D or E): A B C D E

7) Minimum required building setback: 20 feet

8) Building setback provided: 30 feet

9) Minimum required width of landscape yard: 10 feet

10) Width of landscape yard provided: 10 feet

(The required setback and landscape yard may be reduced by fifty percent (50%) in the Developed Tier, Corridor Node or Center when a six (6) foot high fence or wall is provided.)

11) Linear feet of buffer strip required along property line and right-of-way: 395 linear feet

12) Percentage of required bufferyard occupied by existing trees: 0 %

13) Is a six (6) foot high fence or wall included in bufferyard? yes no

14) Total number of plant units required in buffer strip: 158 p.u.

15) Total number of plant units provided:

shade trees 7 x 10 p.u. 70 p.u.

evergreen trees 4 x 5 p.u. 20 p.u.

ornamental trees 6 x 5 p.u. 30 p.u.

shrubs 38 x 1 p.u. 38 p.u.

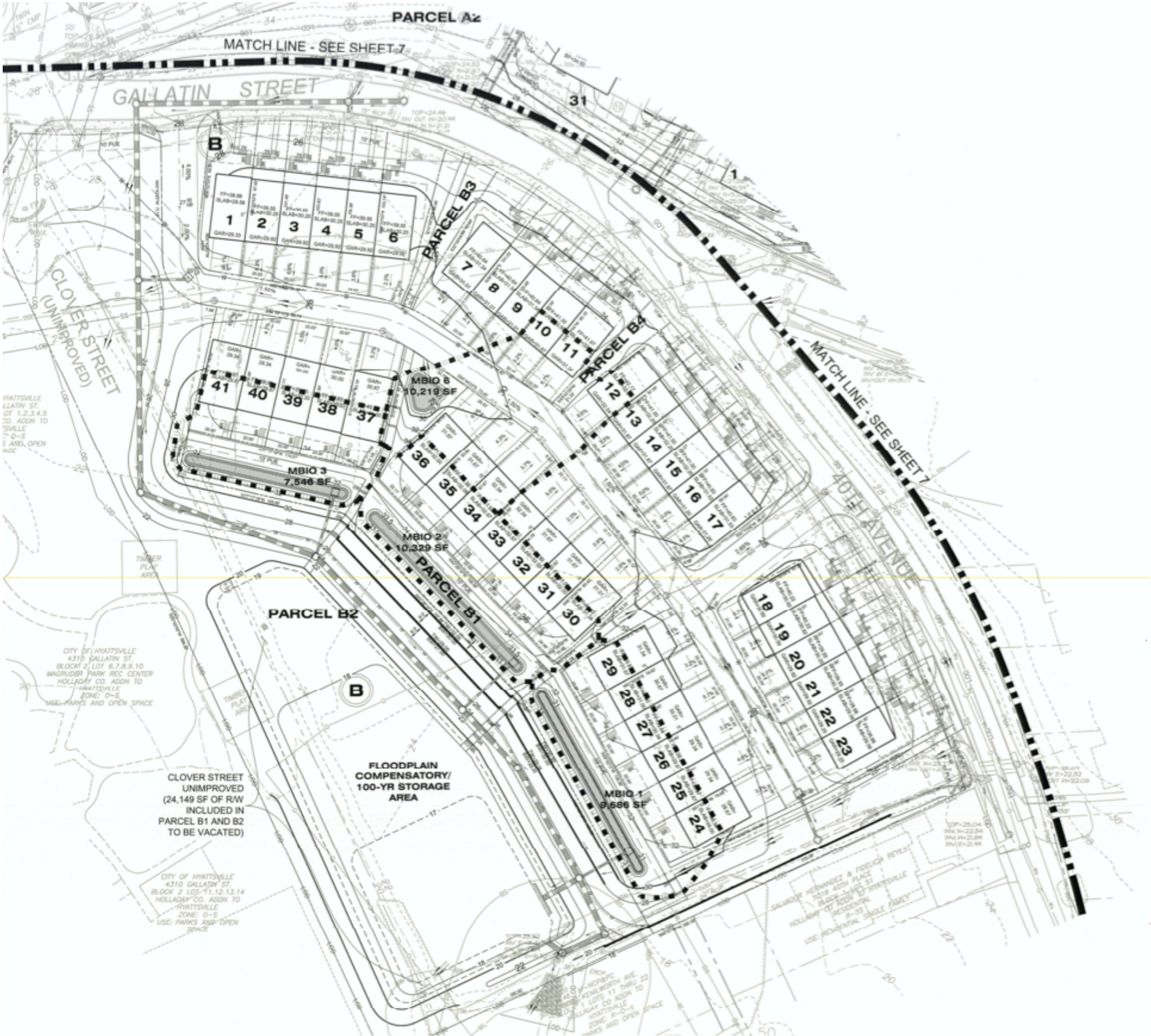
Total 158 p.u.





# Stormwater Management

## Micro-retention areas



Suffrage Point - Werrlein Properties

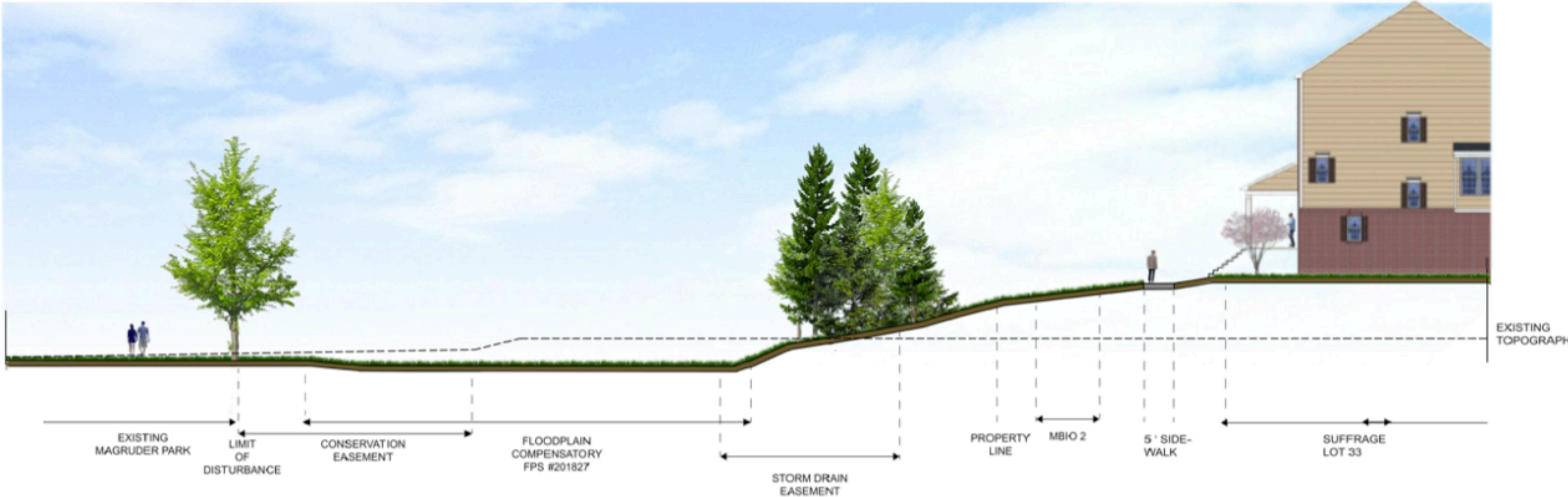


# Stormwater Management

## Micro-retention areas

VIEWSHED A-A'

SCALE: 1"=10'



LOCATOR MAP

SCALE: 1"=100'

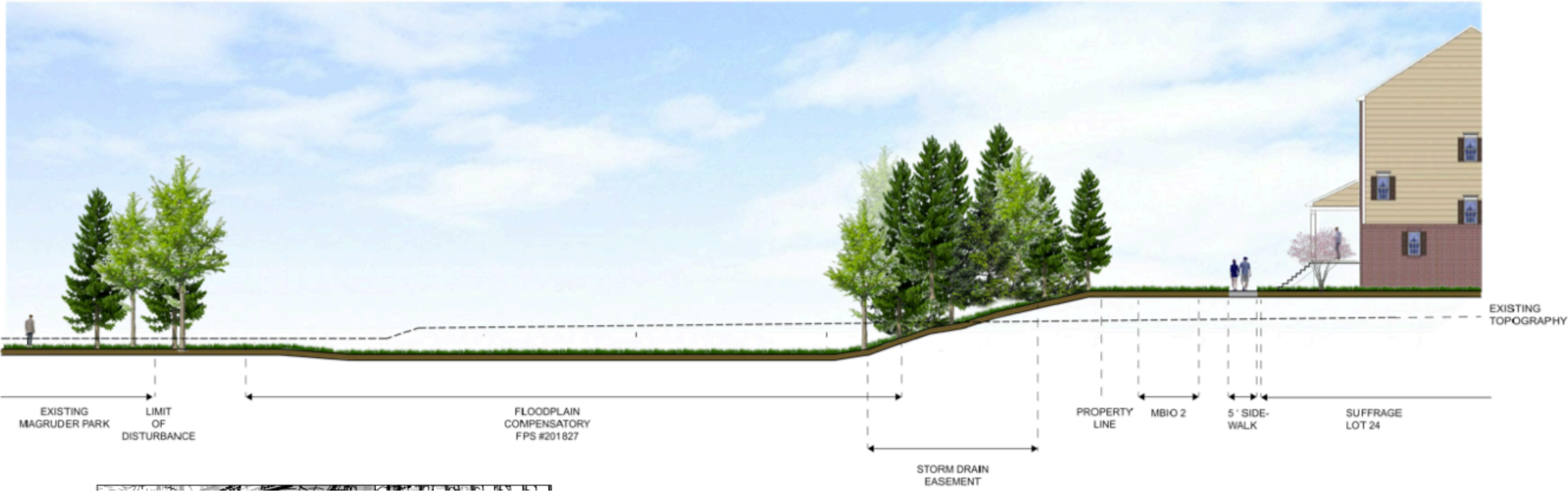


# Stormwater Management

## Micro-retention areas

VIEWSHED B-B'

SCALE: 1"=10'



LOCATOR MAP

SCALE: 1"=100'



# Vehicular & Pedestrian Access

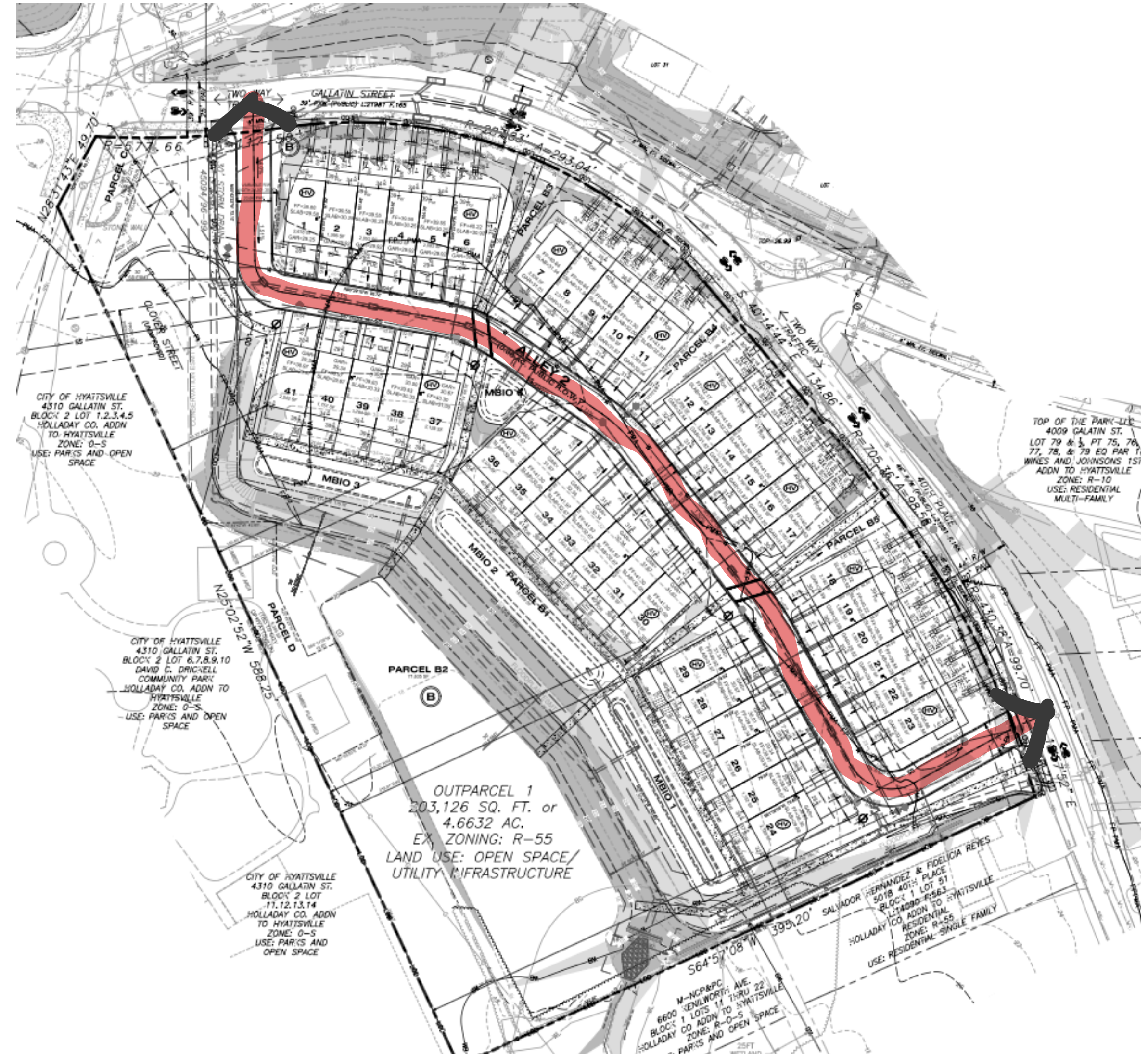
## Pedestrian Access



Suffrage Point - Werrlein Properties



# Vehicular Access



## Suffrage Point - Werrlein Properties



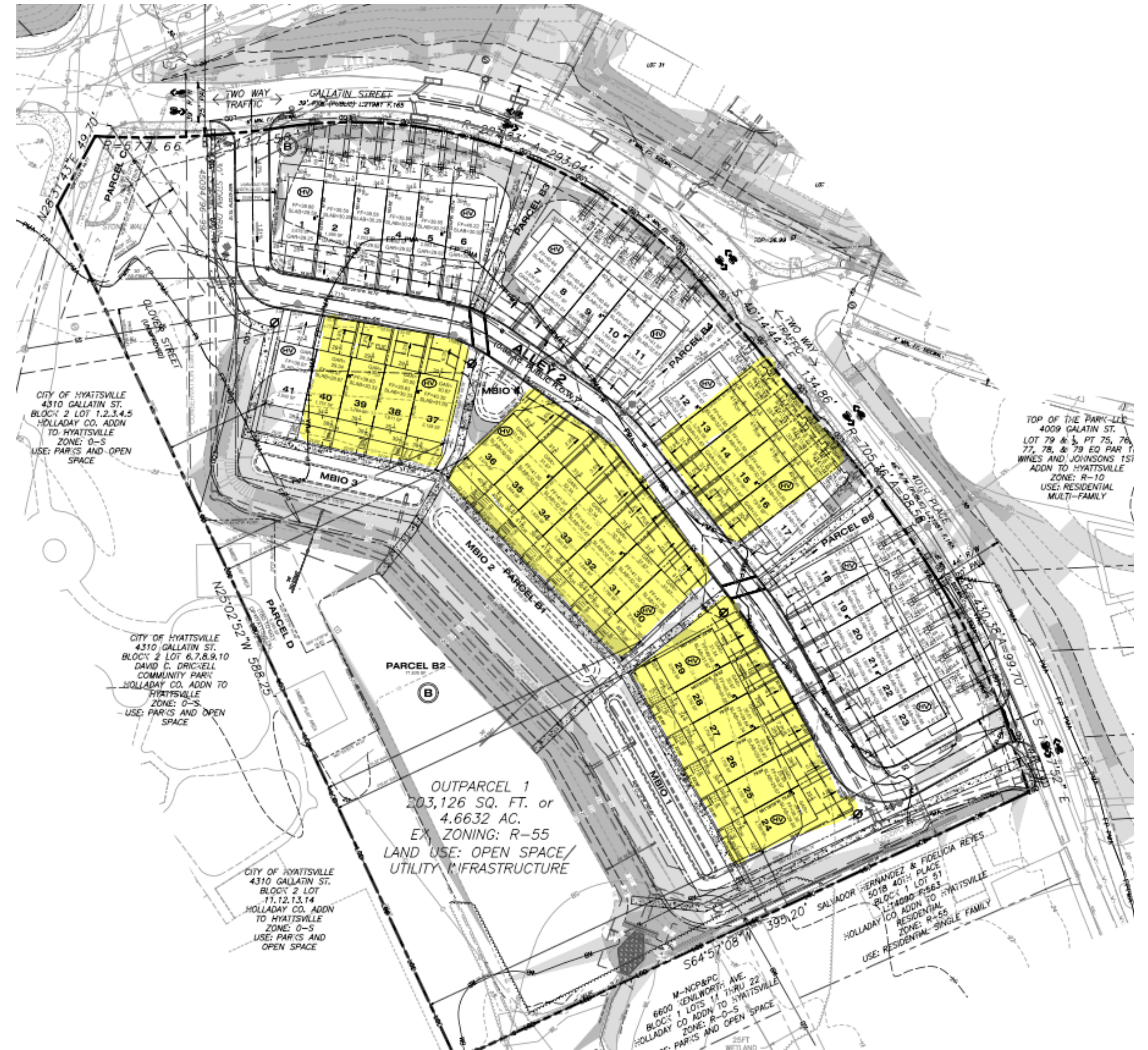
# Variance/Deviations from applicable standards

## DDOZ STANDARD

### Site Design

16. The front yard shall not have more than 20 percent impervious surface and shall not include a paved area for parking between the dwelling and the street sidewalk.

*All units have front porches, resulting in limited front yard depth. Lots 13-16 and 25-40 exceed 20 percent impervious area, with a maximum of 22.73 percent. All units are served from the rear by a network of alleys, therefore there are no paved areas between the dwelling and the street sidewalk. The applicant requests a modification to this Development District Standard to allow more than 20 percent impervious surface in the front yard of lots 13-16 and 25-40.*





**CITY OF HYATTSVILLE**  
**PLANNING COMMITTEE DRAFT MINUTES**  
**OCTOBER 18, 2022**

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Register in advance for this webinar:

[https://us06web.zoom.us/webinar/register/WN\\_ftcXGizFRme3cnoUee\\_brA](https://us06web.zoom.us/webinar/register/WN_ftcXGizFRme3cnoUee_brA)

**1. Introduction of Committee & Guest Members (7:00 PM)**

- Maureen Foster, Committee Chair
- Greg Barnes, Committee
- Will Seath, Committee Member
- Marshall, Committee Member
- Sam Denes, Council Liason
- Ben Simasek, Council Liason
- Taylor Robey, Staff Liason
- Zak Elyasi, RAZ Development
- Jeff Goins, PGN Architects
- Manny Egoegonwa, Cubed Partners

**2. 5402 Jamestown Road, CSP-20004**

- Presentation
  - Jeff Goins, PGN Architects
  - Zak Elyasi, RAZ Development
  - Manny Egoegonwa, Cubed Partners
- Overview of the Project
  - Requesting an amendment to the land use plan to allow for multi-family residential and commercial uses on the site.
  - Requesting modifications to the sector plan to allow 7 stories, a higher level of commercial ground floor use and more diversity of allowable materials for exterior architecture.
  - Since the site is within the floodplain, lobby floors will be hard surface concrete as dictated by FEMA
  - 2,300 sqft amenity space on the second floor, lounge/coworking feel and some outdoor amenity TBD
  - 174-200 units estimated, 30% 2 bedrooms, 60% one bedrooms, 10% studios
  - Some units will have balconies and Juliette balconies that face greenspace
  - 51 parking spaces and 54 in-building bike spaces in garage, many bike racks outside the building
  - Frontage along Jamestown and front of building would include outdoor seating, landscaping, and hardscaping.



- Main entrance to the building off Jamestown Road
- 2,000 sqft coffee shop, 1000 sqft bike shop along the bike trail, additional public space and landscaping surrounding these amenities
- Bioretention would be located at the back of building
- Direct connection to the adjacent bike path from property
- Clarifying Questions
  - Greg: Do planters serving as a barrier between property line and bike trail or are they offset?
    1. Jeff: Will work with Parks on the final design of that. Intention is create activation and public space.
    2. Greg: The three stairways shown, would not be gated?
    3. Jeff: No would not be gated, that is not our property
    4. Greg: Will guests be allowed to use parking?
    5. Jeff: Have not gotten that far yet, have done a traffic study which gave us a reduction in the required parking.
    6. Greg: Electric vehicle charging being considered?
    7. Zak: Yes, also many of bike stations would likely have EV charging options for electric bike. We will pursuing a Green certification as part of this project and that is a big part of this.
    8. Jeff: We are also planning on having a green roof.
  - Taylor: I want to jump in and provide clarity on what type of feedback the applicant is looking for at the time of CSP. CSP stands for conceptual site plan. This stage of the development review process is high level in nature and seeks to show the relationship between major elements of the development such as siting, access to the site, location of amenities, etc. More specific details will be addressed at time of DSP.
  - Marshall: The pool and businesses have not been decided yet?
    1. Jeff: Retail analysis has not been done yet. Neighborhood serving retail is likely.
    2. Marshall: Remind me of the number of units?
    3. Jeff: The plan proposes 174 units, asked for up to 200 units because the unit mix is not set yet.
    4. Marshall: I have concerns with illegal parking and the site being under parked. I understand the proximity to metro but I'm concerned with illegal parking. Is access to parking coming off Jamestown?
    5. Jeff: Yes that is correct
    6. Zak: As reminder, last time we presented the committee pushed for less parking. And we believe this amount of parking is appropriate, but we will study more during the DSP process.



7. Marshall: Double podium, what does that mean?
  8. Jeff: Two level of concrete, five levels of wood construction above the levels of concrete. Done many projects likes this in the Washington DC area.
- Will: What is zoning for this site?
    1. Jeff: MXT zoning.
    2. Will: Did I hear correctly that a modification is needed to zoning or table of uses to do what you are proposing here?
    3. Jeff: Yes there would be. We are requesting an additional floor in height and allowance for multifamily use. The updated sector plan would not require us to ask for this or need this.
  - Committee Comments
    - Will: Not opposed to mixed use projects near transit. Might be early as we are in CSP phase, but I have reservations about architecture and podium construction and request for additional floor. It gives me pause to hear folks talk about green architecture and green initiatives but then doing panelized construction which in my experience is not viable for the long term.
    - Marshall: Shares Will's concerns about podium construction. I am not opposed to the project at this point. Outdoor space needs attention given it is near the metro stations. Consider spaces for tenants and tenants with children and space for children to play. Concentrate on the safety of those areas. And I've said everything I needed to say on the parking.
    - Greg: Agree with Will and Marshall comments. At a higher level, the overall design and layout is headed in the right direction given its location and I look forward to seeing it further along in the process.
    - Committee Comments: Overall the PC supports this project. We support the mixed used development. We have some concerns about the podium construction and its adherence to green principals and its sustainability. We hope that safety is at the forefront for developers as well as high quality public space. We look forward to seeing the detailed site plan and have more questions for parking and other issues at that point.
1. Voted 4 - 0

### 3. Updates

- As of September 9<sup>th</sup>, the Prince George's Plaza metro station name was officially change to Hyattsville Crossing station. Signage and maps are being updated.
- Canvas Development is on schedule, commercial tenants have not been selected.
  - excavation is almost complete
  - concrete operation for foundation done by end of the year
  - commercial tenants have not been selected



- parking done first quarter 2023
- completing project summer 2024
- Riverfront Development
  - I wanted to follow up with you on the public roads at West Hyattsville. As we are getting close to groundbreaking on the multifamily,
  - approaching 100% sellout of townhomes
  - final paving & punch list close out for those roads
  - Marshall:
- TOMORROW! MNCPPC is hosting a listening session for their [Pedestrian and Bicyclist Behavioral Study](#)
  - Sign up to participate here: <https://PBBS.eventbrite.com>
- [West Hyattsville Queens Chapel Sector Plan and Sectional Map Amendment](#)
  - Comment period will close October 26, 2022 at 5 pm. More information [here](#).
- WMATA's Better Bus Initiative
  - More information here: <https://wmata.com/initiatives/plans/Better-Bus/index.cfm>
  - Take the survey [here](#)
  - Attend an upcoming engagement event on Thursday, Oct. 20, 2 p.m. – 6 p.m. at Takoma-Langley Crossroads Transit Center in Montgomery County
- 4. Committee Business**
  - Approve September 2022 minutes
    - 3 yes, 1 abstain
- 5. Additional Questions & Discussion**
  - Maureen: I attended the Sustainability meeting last week, library space was great and people had a lot of good feedback, a lot of discussion around parking.
  - Marshall: Regarding Riverfront, I am glad they are almost sold out and will be finalizing pavement on the streets. Heard positive comments regarding the new Kaiser Facility. Specifically where it is at and the space inside.
  - Greg: Maureen could you speak more to the concerns around parking you heard?
    - Maureen: Most of the discussion was around new developments and parking availability. There was specific mention around EYA, and concerns about the new projects around Northwestern. Discussion about destinations in Hyattsville. Many young people which was great. Interesting conversations about housing and different housing types.
- 6. Adjourn (8:00 PM)**